

# ROTORUA DISTRICT COUNCIL

# BUILDING PERMIT

Owner: A. Boyle

Builder:

Valuation No.: 655/959/3

Type Work: Klondike heater

Permit No.: A41621

Appn. No.: 2240

Date: 11/6/82

## INSPECTIONS

DATE

20/10/82 inst. filled



BC

A41621

5 Beryl Place Street Lot 122 DPS 20544 Section Block



ROTORUA DISTRICT COUNCIL

BUILDING APPLICATION FORM

Received 36-82

File Number 655/95913

Application No. 2240

Date 198 5

I hereby apply for permission to erect, repair, alter, extend a building at No. 5

BERYL PLACE for

(Address)

Mr/Mrs 95. BOYLE of AS ABOVE

(Owner) (Address)

according to locality plan and detailed plans, elevations, cross sections, and specification of building deposited herewith in DUPLICATE (see reverse side).

PARTICULARS OF LAND

Lot No. 22 D.P. No. 205111

Area: Zoning:

PARTICULARS OF USE OF BUILDINGS

Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose, i.e., shop, factory, dwelling, office, carport, etc.) instal Klondike Heater W-B

Area of ground floor Estimated value:

Gross floor area Building work \$ 150-00

Area of accessory buildings Plumbing & Drainage \$

Total \$

Signature of Applicant

Builder's name OWNER Address 5 BERYL PLACE

(Please Print)

Phone No. 479-898

FOR OFFICE USE ONLY

Application checked and approved by:	Health Inspector	Issue of Permit Approved
Building Inspector 5/6/82	Date	
Date 8/6/82	Dangerous Goods Inspector	
Town Planning Officer	Date	Engineer
Plumbing & Drainage Insp. 4/6/82	Geothermal Inspector	
Date	Date	Date 8/6/82
Structural Engineer	General Inspector	
Date	Date	

SUBJECT	APPLN No.	PERMIT No.	DATE	VALUE	FEE
Building		141621		\$	\$
Plumbing				\$	\$ 12-00
Drainage				\$	\$
Water Connection				\$	\$
Damage Deposit				\$	\$
Vehicle Crossing				\$	\$
Sewer Connection				\$	\$
Stormwater Disconnection				\$	\$
Water Disconnection				\$	\$
Building Research Levy				\$	\$

(See scale of fees and general information on back)

Date 11-6-82

Receipt No. 10430

TOTAL: \$ 12-00

## FEE PAYABLE ON THE ISSUE OF ANY BUILDING PERMIT

according to the Estimated Value of Work

Estimated Value of Work	Fees
Not exceeding \$800	— \$15.00
Over \$800 and not exceeding \$1,600	\$1,600 — \$20.00
Over \$1,600 and not exceeding \$1,800	\$1,800 — \$25.00
Over \$1,800 and not exceeding \$2,000	\$2,000 — \$27.00
Over \$2,000 and not exceeding \$2,500	\$2,500 — \$30.00
Over \$2,500 and not exceeding \$3,000	\$3,000 — \$33.00
Over \$3,000 and not exceeding \$3,500	\$3,500 — \$36.00
Over \$3,500 and not exceeding \$4,000	\$4,000 — \$39.00
Over \$4,000 and not exceeding \$5,000	\$5,000 — \$43.00
Over \$5,000 and not exceeding \$6,000	\$6,000 — \$47.00
Over \$6,000 and not exceeding \$7,000	\$7,000 — \$52.00
Over \$7,000 and not exceeding \$8,000	\$8,000 — \$57.00
Over \$8,000 and not exceeding \$9,000	\$9,000 — \$62.00
Over \$9,000 and not exceeding \$10,000	\$10,000 — \$67.00
Over \$10,000 and not exceeding \$12,000	\$12,000 — \$72.00
Over \$12,000 and not exceeding \$14,000	\$14,000 — \$78.00
Over \$14,000 and not exceeding \$16,000	\$16,000 — \$85.00
Over \$16,000 and not exceeding \$18,000	\$18,000 — \$95.00
Over \$18,000 and not exceeding \$20,000	\$20,000 — \$104.00
Over \$20,000 and not exceeding \$25,000	\$25,000 — \$124.00
Over \$25,000 and not exceeding \$30,000	\$30,000 — \$145.00
Over \$30,000 and not exceeding \$35,000	\$35,000 — \$165.00
Over \$35,000 and not exceeding \$40,000	\$40,000 — \$186.00
Over \$40,000 and not exceeding \$50,000	\$50,000 — \$214.00
Over \$50,000 and not exceeding \$60,000	\$60,000 — \$241.00
Over \$60,000 and not exceeding \$70,000	\$70,000 — \$269.00
Over \$70,000 and not exceeding \$80,000	\$80,000 — \$296.00
Over \$80,000 and not exceeding \$90,000	\$90,000 — \$324.00
Over \$90,000 and not exceeding \$100,000	\$100,000 — \$351.00
Over \$100,000 and not exceeding \$120,000	\$120,000 — \$379.00
Over \$120,000 and not exceeding \$140,000	\$140,000 — \$406.00
Over \$140,000 and not exceeding \$160,000	\$160,000 — \$434.00
Over \$160,000 and not exceeding \$180,000	\$180,000 — \$461.00
Over \$180,000 and not exceeding \$200,000	\$200,000 — \$489.00
Over \$200,000 and not exceeding \$240,000	\$240,000 — \$544.00
Over \$240,000 and not exceeding \$280,000	\$280,000 — \$599.00
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of	— \$28.00

### BUILDING RESEARCH LEVY

A building research levy based upon \$1 per \$1,000 or part thereof of total permit value requires to be paid. Permits of a lesser value than \$3,000 are exempt from this levy.

### IMPORTANT

#### PLANS AND SPECIFICATIONS

All builders should be conversant with the Building Bylaws wherein the requirements regarding drawings are stipulated.

Any applications not complying will not be accepted.

It is an offence to start building work before a permit is issued.

All plans must be drawn in metric to scale.

#### SITING OF BUILDINGS

It shall be the responsibility of the Owner of the land and the Builder to ensure that siting of all buildings conforms with the requirements of the District Planning Scheme and the Building Bylaws.

#### DAMAGE DEPOSIT

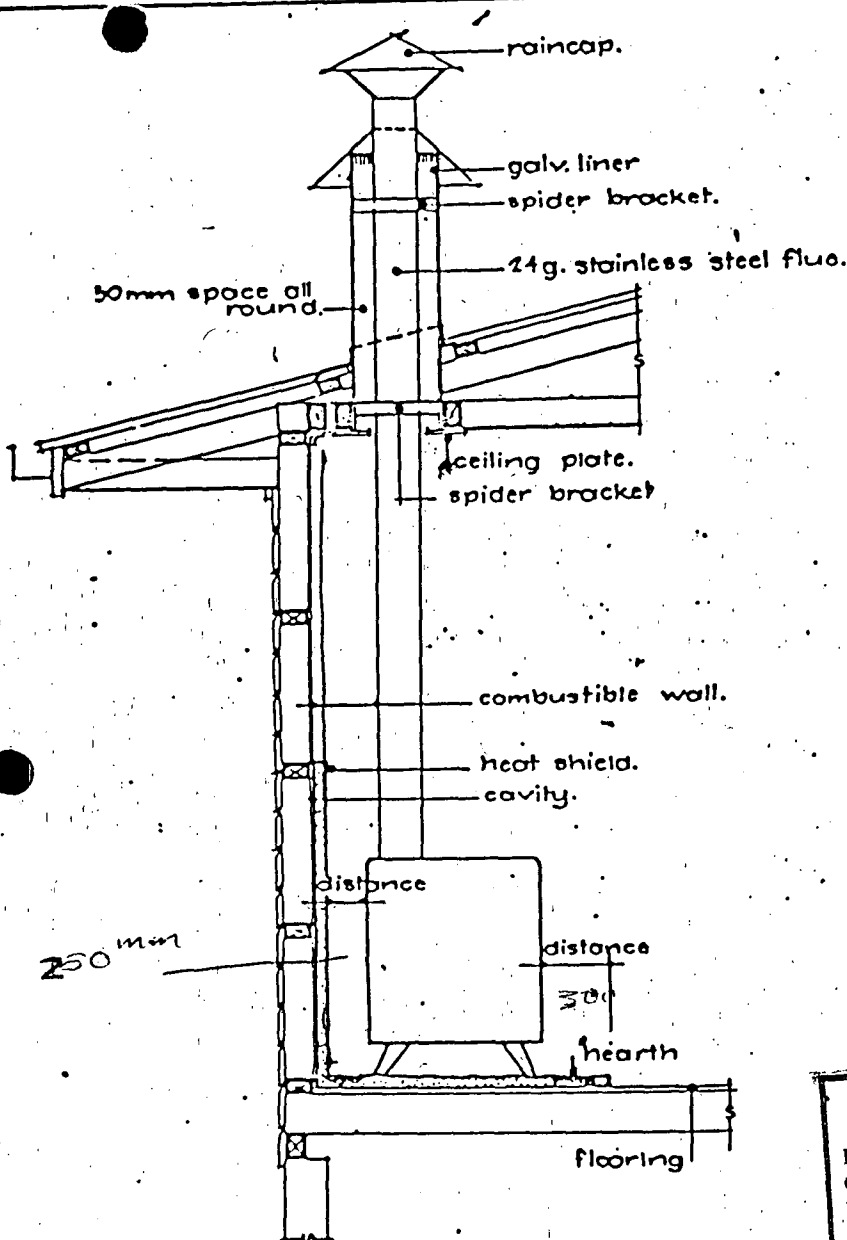
The amount of the damage deposit referred to overleaf is necessary to ensure that the value of any damage that is caused to public property during construction operations is recovered from the main contractor, or applicant, as the case may be. The amount is to be regarded purely as a deposit and will be refunded or adjusted upon application at the completion of the work.

#### SEWER CONNECTIONS

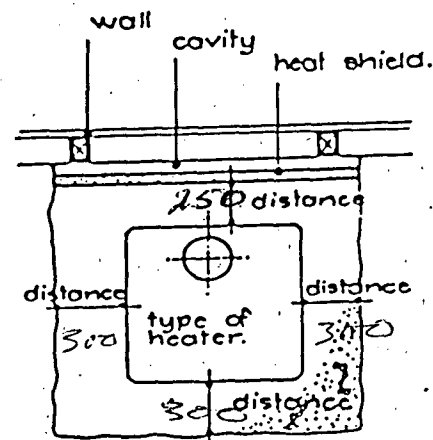
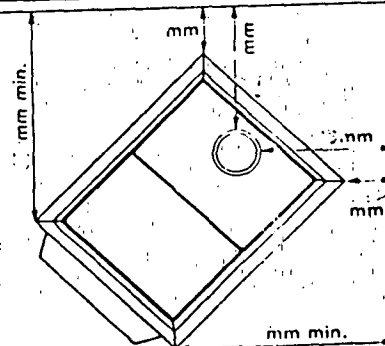
Applicants are reminded of their responsibility to have regard to the levels of Council's drainage services before construction of a building commences. Service levels can be obtained from the District Engineer's Office, Depot Street. Failure to do so may result in plumbing alterations or pumping being required.

#### DEVELOPMENT CONTRIBUTIONS

If you are contemplating a residential development which comprises 3 or more new units, or 2 or more additional units, or an industrial or commercial development, the value of which exceeds \$100,000, you will be liable to make a development contribution to the Rotorua District Council. If your proposal comes within this levy you are advised to contact the District Town Planning Department for further information.



SECTION



PLAN

PLANS APPROVED SUBJECT TO ALL REQUIREMENTS OF THE BY LAWS HEALTH DEPT. BEING FULLY COMPLIED WITH.

Date 14.6.82 Permit Number AU1621  
Inspector J. McAlister (UKD)

heat shield details if required

material... *Perforated Ceramic tiles*  
height... *full height*  
width... *1200*  
cavity... *40mm*  
fixing... *anchors or FH nails*

hearth details

thickness... *2 layers Rock'rd*  
material...  
cavity to floor (if req'd)... *N/A*

note - brick, stone, concrete or similar shields must be supported independently through to the ground.



ROTORUA DISTRICT COUNCIL

TYPICAL DRAWING DETAILS REQUIRED  
WITH SOLID-FUEL HEATER APPLICATIONS

a.c. stainthorpe  
22.9.81